

Traverse County
Land Use Management
PO Box 487
Wheaton, MN 56296
320-759-1560

TRAVERSE COUNTY LAND USE APPLICATION FORM

Please Attach Map & Site Sketch

Application #:	
Date App Received:	
Parcel #:	
Fee Paid: \$	Date:

Revised 4/30/2020

Property Owner's Name:		Parcel # (from prop. tax stmt):	
Owner's Address (Street, City, State, Zip Code):			
Property Address (Only If Different):			
Authorized Agent (If Applicable):			
Preferred Phone:	Secondary Phone:	Email:	Statement of Authorization Required.)
Legal Description: Township Name, Lot & Block Numbers		Section	Township # Range # Quarter

Type of Project	Proposed Use	Water Supply
<input type="checkbox"/> New Construction	<input type="checkbox"/> Single Family Residential	<input type="checkbox"/> Public
<input type="checkbox"/> Addition	<input type="checkbox"/> Multiple Family Residential	<input type="checkbox"/> Community Well
<input type="checkbox"/> Relocation	Units: _____	<input type="checkbox"/> Private Well
<input type="checkbox"/> Replacement	<input type="checkbox"/> Agricultural	Sewage Treatment
<input type="checkbox"/> Other _____	<input type="checkbox"/> Commercial	<input type="checkbox"/> Public
	<input type="checkbox"/> Industrial	<input type="checkbox"/> Community
	<input type="checkbox"/> Other _____	<input type="checkbox"/> Individual _____

Structure Type	Construction	Dimensions	Project Cost Estimate
<input type="checkbox"/> Residence	<input type="checkbox"/> Wood Frame	Length _____	Materials \$ _____
<input type="checkbox"/> Garage	<input type="checkbox"/> Steel/Metal	Width _____	Labor \$ _____
<input type="checkbox"/> Garage w/Sleeping Quarters	<input type="checkbox"/> Masonry	Height _____	Total \$ _____
<input type="checkbox"/> Storage	<input type="checkbox"/> Pole Building	Stories above ground _____	
<input type="checkbox"/> Deck	<input type="checkbox"/> Pre-Fabricated	Basement: <input type="checkbox"/> Yes <input type="checkbox"/> No	Proposed Starting
<input type="checkbox"/> Office	<input type="checkbox"/> Other _____	Bedrooms _____	Date _____
<input type="checkbox"/> Boat House		Baths _____	
<input type="checkbox"/> Agricultural Building		Total Ft ² _____	
<input type="checkbox"/> Other _____		Other _____	

Lot Characteristics		Water Frontage _____ ft.
Building Setback from Street/Road _____ ft.		Setback from State Highway _____ ft.
Distance from Building to Septic Tank _____ ft.		Distance to Drain Field _____ ft.
Distance from Side Yards _____ ft. and _____ ft.		Distance from Rear Yard _____ ft.
Distance to Ordinary High Water Mark _____ ft.		Elevation at Building Site _____ ft.
Total Lot Area _____ ft. ² (or) _____ acres.		Distance to Well _____ ft.

Owner or Agent Signature _____ **Date** _____

I hereby certify that all information above is true and correct to the best of my knowledge. I agree to complete the proposed work in accordance with the description within this application, any addendum forms, plans, specifications, and all other supporting data as described.

Please Attach Map & Site Sketch

APPLICATION IS HEREBY ☐ DENIED (SEE FINDINGS) ☐ APPROVED (PERMIT GRANTED)

BY ORDER OF: _____ Traverse County Official, Dated: _____

This permit will expire one year from the date of approval unless otherwise noted through an extension by the above authority.

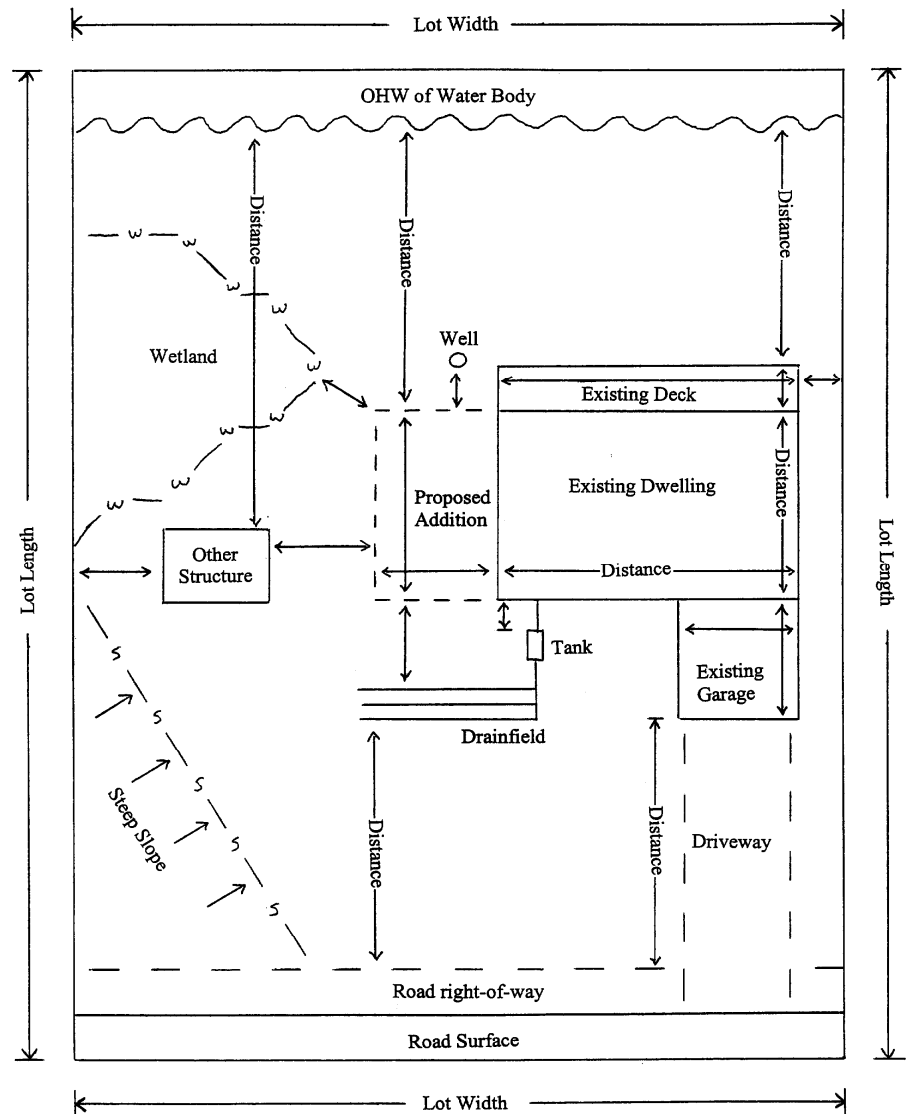
SKETCH DRAWING INSTRUCTIONS

A sketch of your site plan is a required part of the permit application. Please attach on a separate sheet of paper.

EXAMPLE SKETCH:

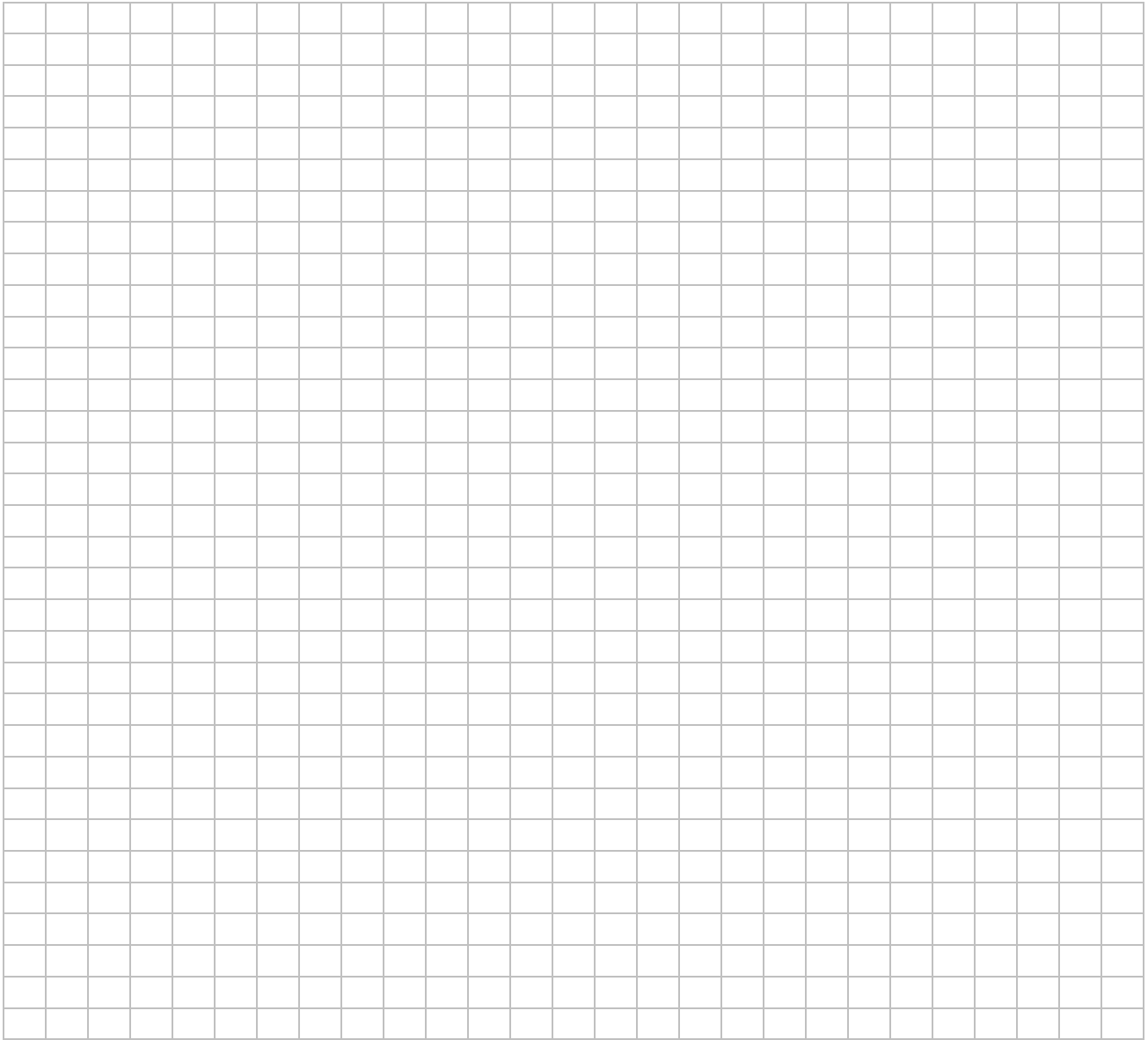
Required Information:

- ✚ North arrow
- ✚ Lot dimensions and size
- ✚ Waterbodies and wetlands
- ✚ Roads, right-of-ways, driveways and parking areas
- ✚ Existing Easements
- ✚ Existing structures, with outside wall dimensions
- ✚ Proposed structures, with outside wall dimensions
- ✚ All impervious (i.e. hard surfaced) structures not already identified (i.e. driveways, decks, patios, sidewalks, retaining walls, areas underlain with landscape fabric, etc...). Show dimensions.
- ✚ Well and septic system location, if applicable
- ✚ Bluff (>30% slope) or steep slopes (12-30%) and direction of slope, if applicable
- ✚ Setback distances from existing and proposed structures to lot lines, waterbodies, any part of a bluff, private sewers, wells, and road centerline.
- ✚ Other information that may be necessary or required by the Zoning Administrator to describe your proposed improvement. These may include:
 - ☐ Elevation of Ordinary High Water Level (OHW)
 - ☐ Elevation of dwelling and/or lowest floor
 - ☐ Elevation of Highest Known Water Level (HKWL)
 - ☐ Bluff determination / Slope information (elevation contours)
 - ☐ 100-year Floodplain Elevation
 - ☐ Professionally surveyed of all impervious surfaces
 - ☐ Professionally delineated wetland boundaries



REQUIRED LOT SURVEYS: The Zoning Administrator will determine whether you are required to submit a property or line survey. Generally, if it is unclear whether you will meet a required setback, impervious surface limits, floodplain elevation requirements or some other requirement of the ordinance related to the boundaries or physical aspects of a property, a certificate of survey will be required. If you already have had a survey completed, please submit a copy as part of your application to determine whether it is sufficient to avoid the need for another survey.

SKETCH DRAWING



Impervious Surface Calculation

List all existing structures* or other improvements on the property and their outside dimensions		List all proposed structures* or other improvements on the property and their outside dimensions:	
Type of Structure or Improvement	Footprint – incl. eaves (sq ft)	Type of Structure or Improvement	Footprint – incl. eaves (sq ft)
1.			
2.			
3.			
4.			
5.			
Total		Total	

***Note:** Include all roofed structures (including eaves), patios, decks, driveways, parking areas, retaining walls, stairways, sidewalks, propane tanks, landscaping underlain with plastic, etc.

Total Lot Size = _____ sq ft or acres

Total Impervious Coverage (Total Impervious / Total Lot Size) * 100 = _____%